

ELECTRIC / LIGHTING

200 AMP PER NEC - COPPER WIRING, GFCI & ARC FAULTS
 KITCHEN
 4 CAN LIGHTS
 2 ISLAND PENDENTS-MAXIM P/N 91064
 PANTRY FLOURESCENT
 DISPOSAL, DISHWASHER, MICROWAVE/VENT HOOD, REFRIDGERATOR, RANGE
 LAUNDRY (WASHER, ELECTRIC DRYER, FLUSHMOUNT)
 GREAT ROOM (PADDLER FAN & LIGHT - MAXIM, 1 CAN, FP, AV RECEPT, TV RECEPT)
 DINING (CHANDELLIER-MAXIM P/N10125)
 FOYER (CHANDELLIER-MAXIM P/N10121)
 STAIRWAY (1 FLUSHMOUNT)
 HALL BATH (1 WALL MOUNT LT - MAXIM P/N 2121, FAN/LT - FIX SUPPLIED BY HVAC)
 BDRM #1 & #2 (2 FAN ROUGH), (CLOSET FLUSHMOUNTS X2)
 MASTER BEDROOM (PADDLER FAN & LIGHT-MAXIM, CLOSET FLUSHMOUNT X2)
 MASTER BATH (VANITY LT - 2 PCS MAXIM P/N 2123, FAN/LT - SUPPLIED BY HVAC, TWO WALL MOUNTS)
 EXTERIOR (TWO GARAGE LTS, 1 POLE LT, 1 REAR DOOR LT, 1 PORCH CAN)
 BASEMENT (80% HVAC, 50G ELECT WTR HTR, SUMP PUMP)
 * NOTE: NO BASEMENT FINISH
 GARAGE DOOR OPENER RECEPTICALS & SENSOR PREWIRE
 4 - CAT 5 & CABLE ROUGHS
 SMOKE DETECTORS PER ORC

PLUMBING / FIXTURES

PVC DRAIN LINES, FLOWGUARD GOLD SUPPLY, LINES
 TEMPERATURE BALANCE VALVES ON ALL TUBS & SHOWERS
 SHUT-OFF VALVES ALL SINKS & TOILETS
 KITCHEN PULLOUT FAUCET CHROME PFT32273
 KITCHEN SINK PFT32273
 ICE MAKER LINE WITH SHUT-OFF
 DISPOSAL: FWD1
 MASTER TOILET PF1201WH/PF3312WH/PFTS2000WH
 MASTER LAV CHROME 2 HANDLE PFW1212MCP
 MASTER SHWR PAN: 48X34 PFSF4834WH
 MASTER SHOWER FIX TRIM CHROME PFT660MCP
 MASTER OVAL SOAKING TUB PFS5838WH
 ROMAN TUB SPOUT CHROME
 HALL TOILET PF1200WH / PF3312WH / PFTS1000WH
 HALL BATH TUB/SHWR AG6004TSRWH
 HALL T/S FIX CH PF7661CP
 HALL LAV CHROME PF4013MCP
 50G WATER HTR SES652DORT
 SUMP PUMP PF92342
 BACKFLO W919QTF
 LAUNDRY TUB WITH LEGS, FAUCET (PROFLO CH)

APPLIANCES

WHIRLPOOL SS SMOOTHTOP ELECTRIC ONVE/RANGE
 WHIRLPOOL SS DISHWASHER
 WHIRLPOOL SS MIROWAVE / RANGE HOOD
 WHIRLPOOL SS SIDE BY SIDE REFRIDGERATOR W/ICE MAKER

ENERGY FEATURES

BALANCED HVAC SYSTEM WITH RETURN AIR VENTS EA. BDRM
 GOODMAN 80% NATURAL GAS FURNACE
 13 SEER AIR CONDITIONER
 DIGITAL THERMOSTAT
 HEAT & CLO 50G GAS FIREPLACE WITH TRIM KIT
 R-38 ATTIC INSULATION, R-13 WALL INSULATION
 DRAFT STOP & AIR INFILTRATION PACKAGE
 ALL EXHAUST FANS DUCTED TO EXTERIOR
 BASEMENT HVAC ROUGH - 4 SUPPLY & RETURN TAPS, 1 FAN EGRESS

WINDOWS & DOORS

JELD-WEN OR SPROUSE SINGLE HUNG VINYL WINDOWS & SLIDER
 FRONT DOOR - JELD-WEN MAJESTIC STEEL P/N 684ME OR EQUIV.
 GARAGE DOOR - OVERHEAD STEEL DOOR 16" (MODEL 311)

FLOORING

CARPET & PAD SEE ALLOWANCE \$2.00 SF (INCLUDES STEPS) INSTALLED
 TILE / WOOD SEE ALLOWANCE \$4.00 SF TYP. MATERIAL
 VINYL SEE ALLOWANCE \$2.50 SF TYP. MATERIAL

MIRRORS, SHELVING, SHOWER DOOR

1 VANITY MIRROR OVER EACH SINK
 DUST FREE COATED SHELVING
 BEDROOM - CLOSET PERIMETER
 LINEN - 5 SHELVES
 KITCHEN - 5 SHELVES

LANDSCAPE

2 ZONE MANUAL IRRIGATION SYSTEM - FRONT YARD
 FRONT & SIDE YARD SOD, REAR YARD SEED
 PLANTINGS (1PC 2" SHADE TREE, 1PC 4" ORN. TREE, 8 2G SHRUBS, 6 PERENNIALS, 4YDS MULCH)
 COPPER MAILBOX, CEDAR POST WITH COPPER CAP

CONSTRUCTION FEATURES:

I-JOIST QUIET FLOOR SYSTEM
 ENGINEERED ROOF TRUSSES
 2X12 FIELD BUILT STEPS
 FULL HOUSE WRAP
 FULL BRICK WRAP
 EXTENDED SOFFITS WITH FRIEZE BOARD - SMART TRIM
 COLOR COORDINATED GUTTERS & DOWN SPOUTS
 36" SPLASH BLOCKS
 SUMP DISCHARGED UNDERGROUND TO STORM

INTERIOR TRIM

6 PANEL HOLLOW CORE DOORS
 2 3/4 CASING, 4 1/4 BASEBOARDS, GR CROWN
 HARDWOOD SILL, STAIR RAILS CAP, STAIR BASECAP
 NICKLE DOOR LEVERS
 DRYWALL & PAINT
 1/2 DRYWALL, TEXTURED CEILINGS
 2 COATS SHERWIN WILLIAMS PAINT

CABNETS & TOPS

ARISTOCRAFT HARD WOOD CABINETS
 MULTI LEVEL ISLAND/BREAKFAST BAR
 GRANITE COUNTERTOPS IN KITCHEN
 CULTERED MARBLE TOPS IN BATHS

LIVING AREA
1785 sq ft

REV A
 CHANGED CATHERAL IN FAMILY ROOM
 REV B
 ADDED NOTE ON ELEVATION
 REV C
 REVISED SQ.FT. NUMBERS

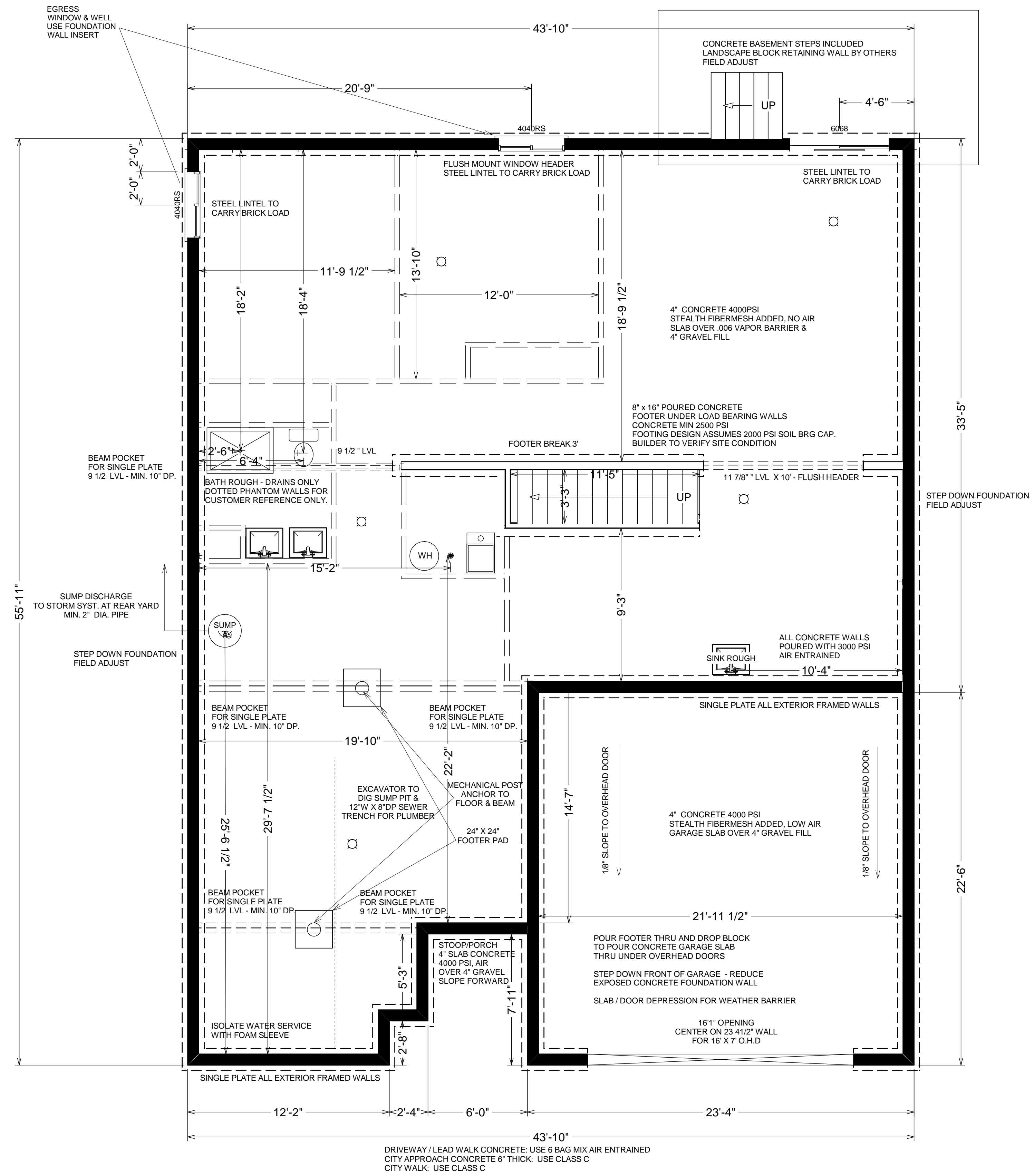
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 MIAMISBURG, OH 45343
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 FAX 937-859-4391

FINAL APPROVED BK REV C

PLANS FOR RANCH RESIDENCE
 ELMORE
 LOT 24, CITY LOT 7787
 2420 SYDNEYS BEND DR.,
 MIAMISBURG, OH 45342
 SYDNEY'S BEND SUB DIVISION

DATE: MAY 7, 2010 SCALE 1/4" = 1 FT SHEET 1 OF 4



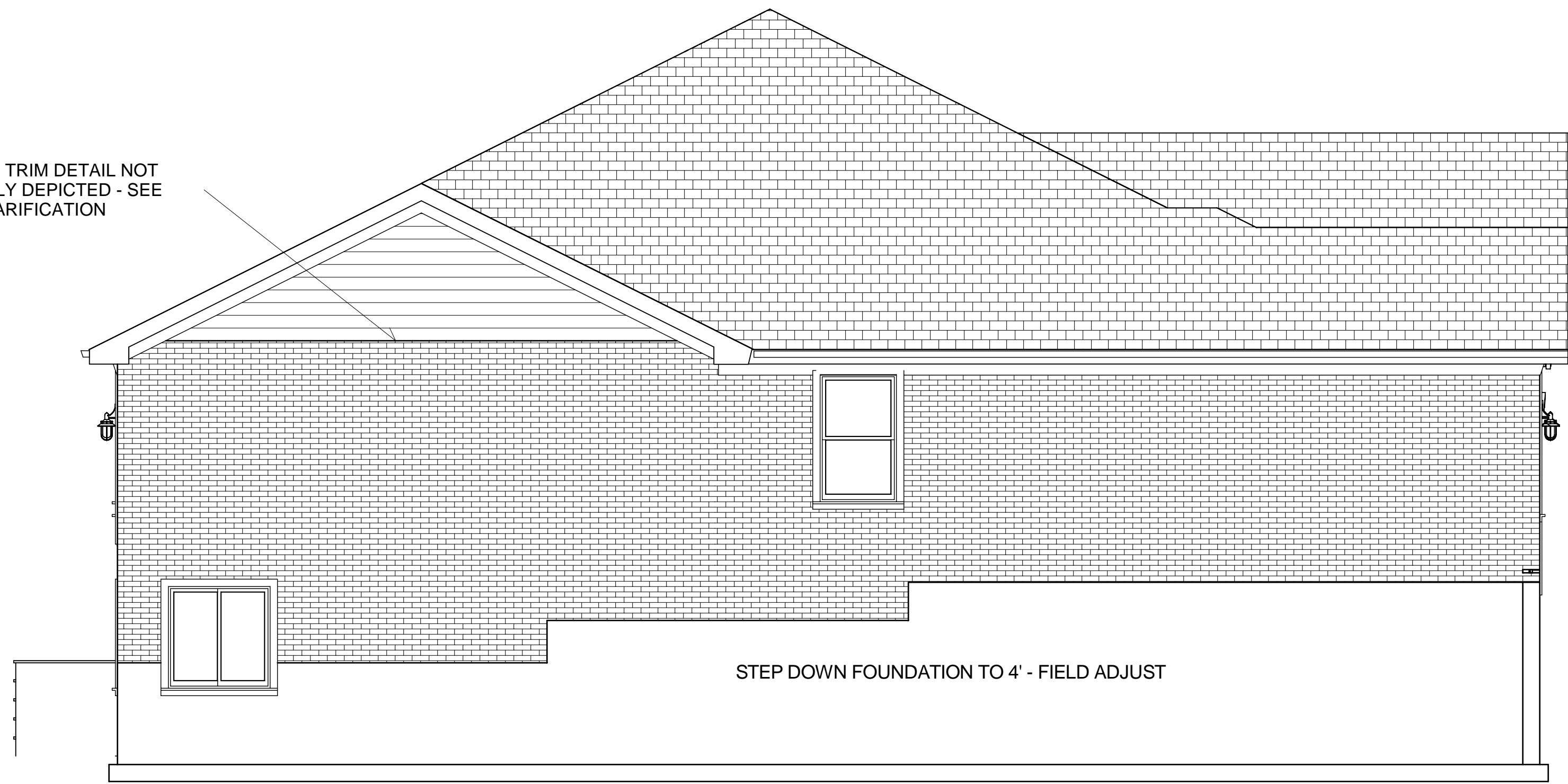
LIVING AREA
1843 sq ft

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	<p>PLANS FOR RANCH RESIDENCE ELMORE LOT 24, CITY LOT 7787 2420 SYDNEYS BEND DR., MIAMISBURG, OH 45342 SYDNEY'S BEND SUB DIVISION</p>
<p>SCALE 1/4" = 1 FT</p>	<p>SHEET 2 OF 4</p>



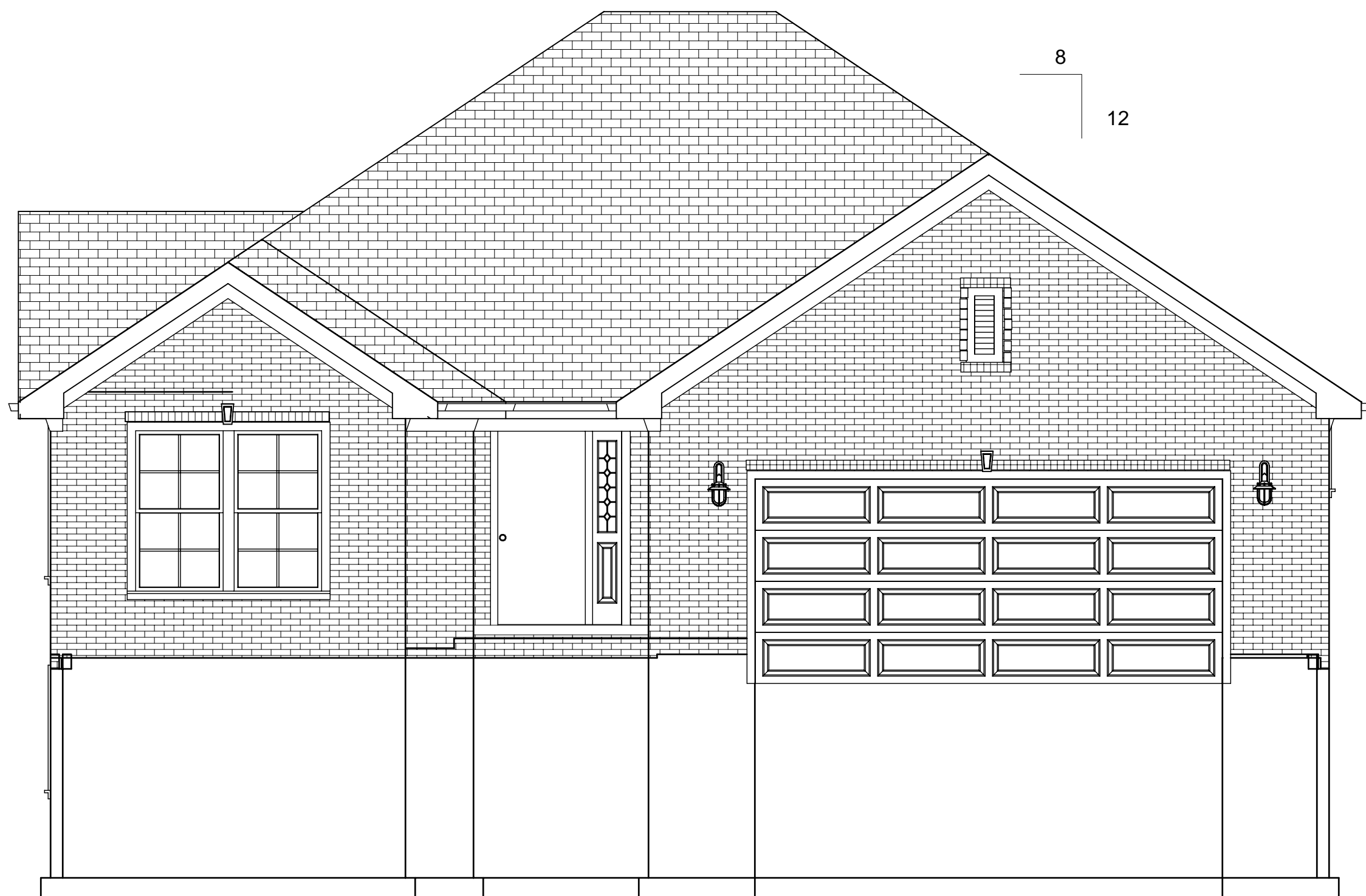
STEP DOWN FOUNDATION TO 4' - FIELD ADJUST

SIDING AND TRIM DETAIL NOT ACCURATELY DEPICTED - SEE GC FOR CLARIFICATION

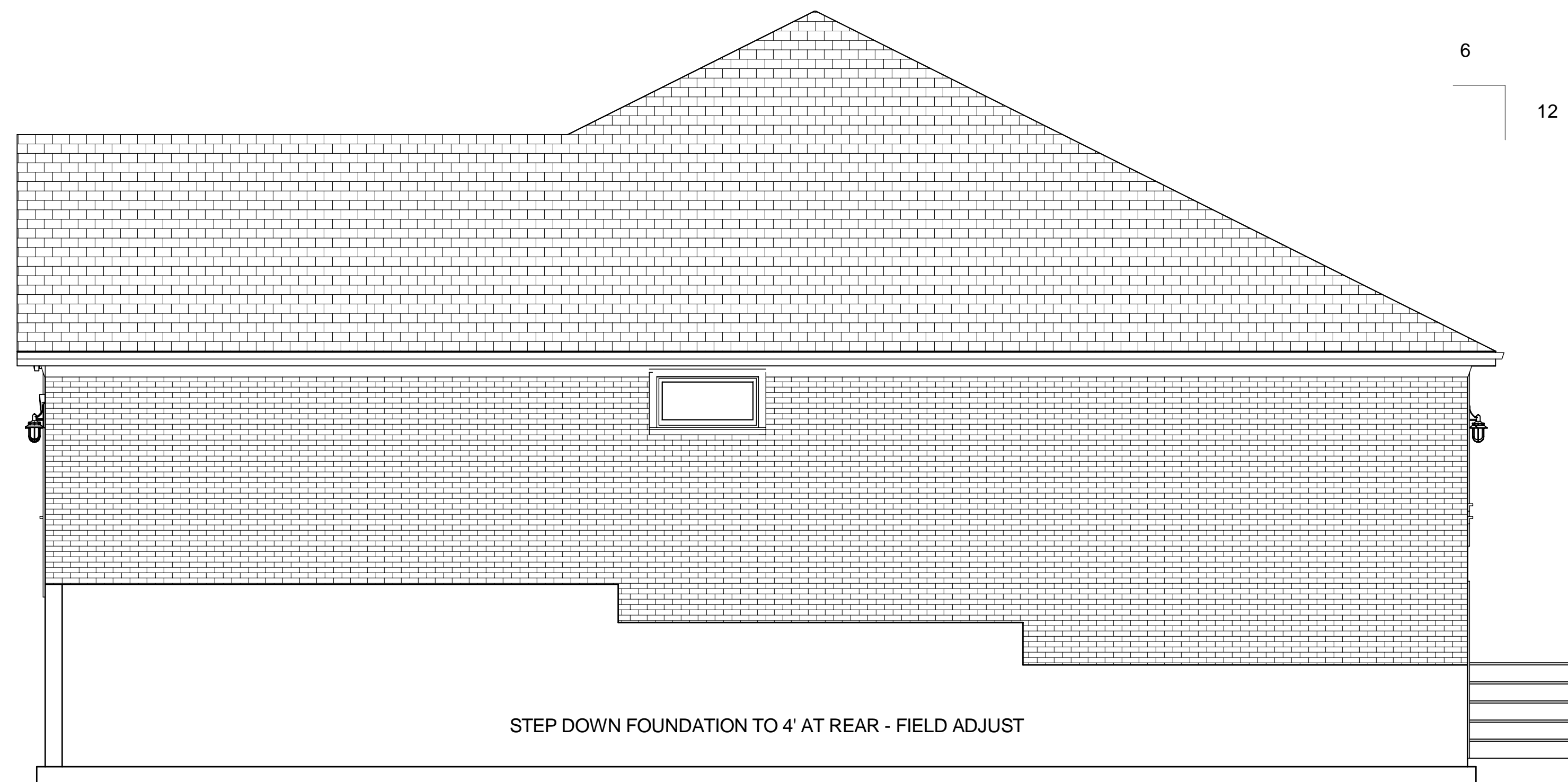


STEP DOWN FOUNDATION TO 4' - FIELD ADJUST

SET WINDOW TO MEET EGRESS POCKET FOUNDATION



8
12



6
12

STEP DOWN FOUNDATION TO 4' AT REAR - FIELD ADJUST

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SCALE 1/4" = 1 FT

SHEET 3 OF 4

WOOD

1. MATERIALS:

- A. FRAMING LUMBER
 - 1. 2 X 8 AND LARGER NO. 1 GRADE OR BETTER SOU. PINE KILN DRIED.
 - 2. 2 X 4 AND 2 X 6 STUD NO. 3 GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
 - 3. CCA OR CZC PRESS. TREAT PIECES IN CONTACT WITH FOUND. OR EXPOSED TO WEATHER.
 - B. ROOF SHEATHING : 7/16" APA RATED SUBFLOORING 3/4" T&G APA RATED
 - 1. ALL SHEATHING TO BE NAILED WITH 8D NAILS AT 6 IN. O.C. AT PANEL EDGES AND 12 IN. O.C. AT INTERMEDIATE SUPPORTS, UNLESS NOTED OTHERWISE.
 - C. WALL SHEATHING, 7/16 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE
 - 1. ALL PLYWOOD SHEARWALLS SHALL BE NAILED WITH 8D NAILS AT 3 IN. O.C. AT PANEL EDGES AND 12 IN. O.C. AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PLYWOOD SHEATHING NOT NOTED AS PLYWOOD SHEAR WALL SHALL BE NAILED WITH 8D NAILS AT 6 IN. O.C. AT PANEL EDGES AND 12 IN. O.C. AT INTERMEDIATE SUPPORT.
 - D. ADHESIVE FOR GLUED AND NAILED PLYWOOD SUBFLOORING SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
2. ALL OSB SUBFLOORING SHALL BE GLUED AND NAILED TO I-JOISTS. ADD SCREWS FOR DIMENSIONAL FLOOR SYSTEMS.
 3. STRUCTURAL AND FRAMING MEMBERS INDICATED ARE BASED ON SPECIES OF LUMBER THAT SATISFY THE SPAN.
 4. CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS, AND IS TO VERIFY ALL MEASUREMENTS ON JOB SITE.
 5. ALL BEARING POINTS SHALL BE CONTINUOUSLY BLOCKED THROUGH FLOOR FRAMING DOWN TO SOLID BEARING ON FOUNDATION WALL OR INTERIOR STEEL BEAMS.
 6. AT FIRST FLOOR JOISTS THAT ARE PARALLEL TO THE BASEMENT FOUNDATION WALL, PROVIDE FULL DEPTH SOLID BLOCKING AT 48 IN. O.C. BETWEEN THE RIM JOISTS AND THE FIRST INTERIOR JOIST.
 7. ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY CONTRACTOR.
 8. NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO EXCEED ONE-FOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40 PERCENT OF THE STUD WIDTH.
 9. ALL BEARING POINTS UNDER CONCENTRATED LOADS, AT THE SUPPORT POINTS OF BEAMS AND HEADERS, AND WHERE INDICATED IN A WALL ON THE DRAWINGS, SHALL BE AT LEAST THE WIDTH OF THE BEARING, STRUCTURAL MEMBER, AND/OR A MINIMUM OF 1) ONE 2X STUD CRIPPLE NAILED TOGETHER WITH 8D NAILS AT 16 IN. O.C. TO (1) FULL HEIGHT STUD FOR SPANS UP TO 6 FT. 0 IN. AND (2) 2X CRIPPLES FOR SPANS GREATER THAN 6 FT. 0 IN. UNLESS OTHERWISE NOTED.
 10. ALL MULTIPLE HEADERS AND BEAMS SHALL BE FASTENED TOGETHER AT TOP AND BOTTOM INTO EACH ADJACENT MEMBER WITH (MINIMUM) TWO ROWS OF 16D NAILS AT 12 IN. O.C. FOR BEAM DEPTHS LESS THEN 12 INCHES. FOR DEPTHS GREATER THAN 12INCHES, THROUGH-BOLT WITH 1/2 IN. DIAMETER BOLTS AT 12 IN. O.C. STAGGERED TOP AND BOTTOM.
 11. 4 FOOT WIDE APA RATED STRUCTURAL WALL SHEATHING SHALL BE LOCATED AT EACH END OF EACH EXTERIOR WALL AND AT LEAST EVERY 25 FEET OF WALL LENGTH.
 12. NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED 1/6 OF THE MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN 1/3 OF THE MEMBER DEPTH, OR WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN 2 FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT / ENGINEER.

MASONRY
<VENEERS ARE NON STRUCTURAL ITEMS>

1. PROVIDE BRICK OR STONE VENEER ANCHORS WITH MAXIMUM HORIZONTAL SPACING OF 24 IN. AND MAXIMUM VERTICAL SPACING OF 16 IN. BRICK VENEER ANCHORS SHALL BE EMBEDDED 2 IN. MINIMUM INTO BRICK.
2. TYPICAL STEEL ANGLE LINTELS IN MASONRY VENEER FRAME CONSTRUCTION OPENINGS (SIZING & LOAD CALS BY SUPPLIER)
3. BRICK MASONRY WORK SHALL CONFORM TO ALL REQUIREMENTS OF BUILDING IN.BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY IN., 1969, BRICK INSTITUTE OF AMERICA.
4. LEAVE 1/8 TO 3/16 CAULK JOINT AROUND WINDOW TO ALLOW FOR FRAMING SHRINKAGE TO PREVENT WINDOW DAMAGE
5. MASON TO PROTECT WINDOWS & DOOR FROM MORTAR AND DAMAGE DURING APPLICATION OF MASONRY PRODUCTS.
6. DOORS, GARAGE & WALL TOPS RECEIVE SOLDIER COURSE. WINDOWS RECEIVE SILL, KEYSTONE PER PRINT.

NOTE: DESIGN DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KNISS AND ASSOCIATES, INC.. ANY UNAUTHORIZED USAGE, MODIFICATION, OR ADAPTION IS PROHIBITED UNLESS PERMISSION IS ACQUIRED IN WRITING.

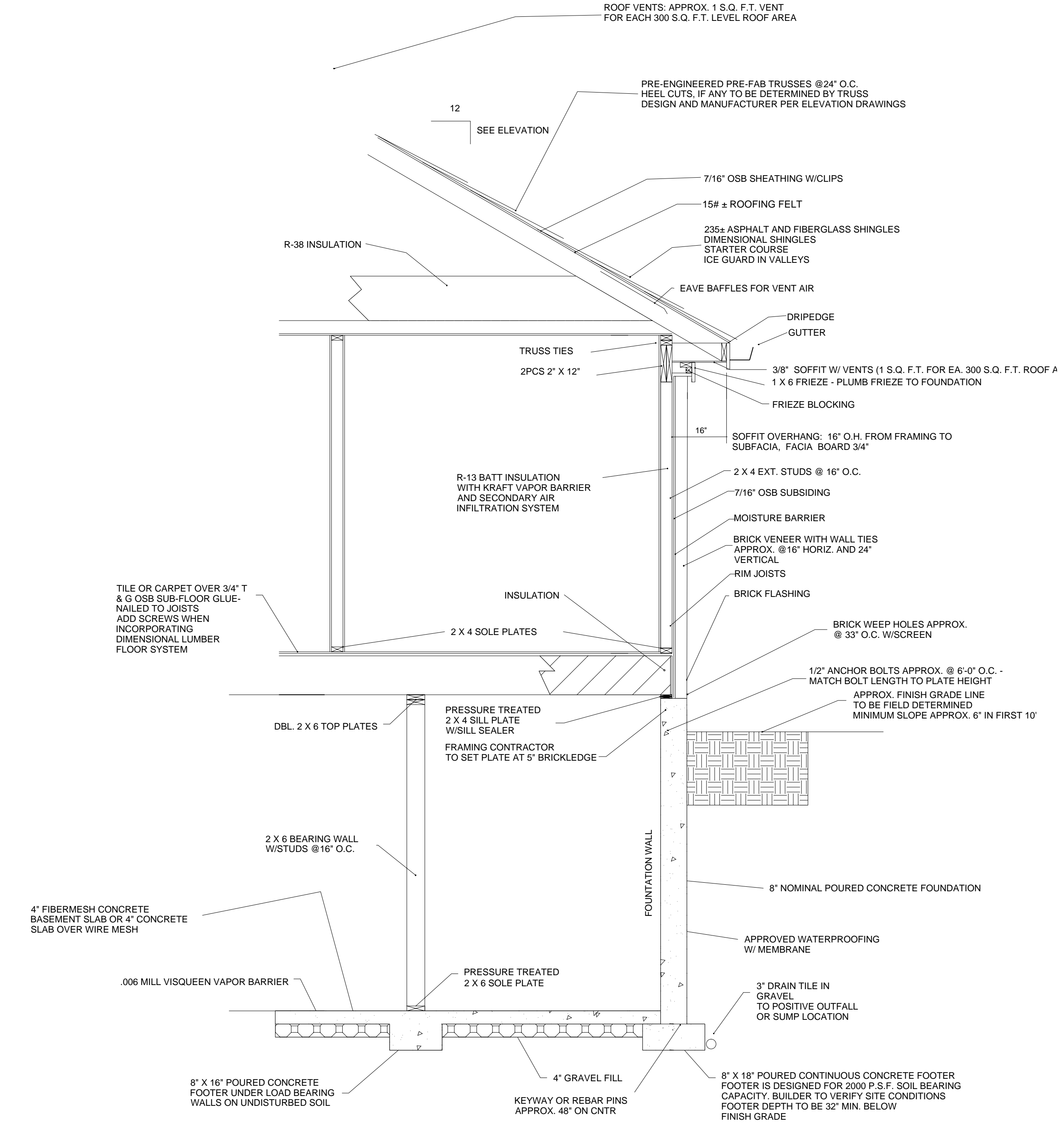
ANY CHANGES OR SUBSTITUTIONS TO BUILDING COMPONENTS/FRAMING WITHOUT THE STRUCTURAL ENGINEERS APPROVAL BECOMES THE SOLE RESPONSIBILITY OF THE BUILDER/OWNER.

GENERAL NOTES

1. SMOKE DETECTORS TO BE LOCATED INSIDE AND OUTSIDE OF EACH SLEEPING AREA AND ON EACH HABITABLE FLOOR INCLUDING BASEMENTS. EACH UNIT TO BE ELECTRICALLY WIRED AND INTER-LINKED WITH ALL OTHERS WITH BATTERY BACK-UP.
2. GENERAL CONTRACTOR TO SUPPLY ROOF TRUSS DESIGN, DRAWINGS AND DETAILS FROM TRUSS MANUFACTURER. GENERAL CONTRACTOR AND TRUSS DESIGNER RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION HAVE ALL ROOF MEMBERS. THIS DRAWING IS MERELY CONCEPTUAL AND SHOULD BE REVIEWED AND REVISED BY TRUSS MANUFACTURER IF NEEDED.
3. ALL LVL BEAMS AND WOOD I-JOISTS TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER.
4. BEDROOM WINDOWS TO MEET EMERGENCY EGRESS REQUIREMENTS FOR OPENING SIZE AND DISTANCE TO FLOOR. GENERAL CONTRACTOR RESPONSIBLE FOR VERIFICATION OF WINDOW SPECS.
5. DOOR AND WINDOW SIZES, STYLES AND SPECIFICATIONS, ROUGH OPENING SIZES AND EXACT LOCATIONS TO BE CHECKED AND VERIFIED BY GENERAL CONTRACTOR BEFORE ORDERING AND BEFORE CONSTRUCTION BEGINS.
6. BUILDER MAY CHANGE DOOR AND WINDOW SIZES AS NEEDED FOR FITTING, TRIM AND AVAILABILITY PURPOSES.
7. ANY ADDITIONAL DOORS AND WINDOWS TO BE ADDED ON JOBSITE.
8. ALL WINDOW AND DOORWAY HEADERS IN LOAD BEARING WALLS TO BE (2) 2 IN. X 10 IN. (MIN 925 STRESS GRADE) WITH 1/2 IN. PLYWOOD BETWEEN UNLESS OTHERWISE SHOWN.
9. VENTING OF ATTICS = (1) SQ FT FOR EACH 300 SQ FT OF ATTIC
10. ELEVATIONS ARE FOR BIDDING PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS ACTUAL IMAGE OF HOUSE. ELEVATIONS MAY DIFFER FROM ACTUAL HOUSE AS MATERIAL AND PRODUCTS MAY VARY WITH SUPPLIERS.
11. STRUCTURAL AND FRAMING MEMBERS INDICATED ARE BASED ONLY ON SPECIES OF LUMBER THAT SATISFY THE SPAN.
12. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY CONTRACTOR.
13. CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
14. CONTRACTOR TO CONFIRM THE SIZES, SPACING, AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS.
15. BATH FANS, VENT HOOD AND DRYER VENT TO BE VENTED TO EXTERIOR.
16. 1/2" TYPE X FIRE CODE DRYWALL ON GARAGE WALLS AND CEILINGS.
17. STAIRWAYS - 9 IN. MIN. TREAD, 8 1/4 IN. MAXIMUM RISE, 6 FT. 8 IN. MINIMUM HEADROOM. GUARDRAILS 36 IN. HIGH MINIMUM, HANDRAILS - 34 IN. TO 38 IN., HANDRAIL/GUARDRAIL COMBO 34 IN. TO 38 IN.. SPINDLES 4 IN. BETWEEN MAXIMUM. MIN. 3 FT. 0 IN. WIDE.
18. PROVIDE QUALIFYING STAIRWAY ILLUMINATION AND ACTIVATION.
19. 3 FT. X 3 FT. MIN. 8 1/4 IN. MAX BELOW TOP OF THRESHOLD - LANDINGS.
20. FIREPLACE 550 SERIES PREFAB METAL. ZERO CLEARANCE (DIRECT VENT) FIREPLACE. PROVIDE FRESH AIR INTAKE, BLOWER, GLASS DOORS AND INSTALL PER MANUFACTURERS SPECIFICATIONS.
21. THE DESIGNS AND DRAWINGS DEPICTED HEREIN ARE DESIGNED TO MEET ALL RCO, V.A., AND F.H.A. BUILDING STANDARDS. SEPARATE HVAC AND ELECTRICAL PLANS TO BE SUBMITTED BY THAT RESPECTIVE TRADESMAN.
22. DOOR AT GARAGE TO HOUSE AND UTILITY ROOM SHALL BE 20 MINUTE FIRE RATED OR 1 3/8 IN. SOLID CORE.
23. PROVIDE GALVANIZED AREAWELL AS REQUIRED BY GRADE - TYPICAL
24. ATTIC ACCESSES 22 IN. X 30 IN. MINIMUM.
25. ALL DOORS TO HAVE A MINIMUM 3 FT. 0 X 3 FT. 0 STOOP.
26. ANY WINDOW WITHIN 2 FT. 0 IN. OF AN OPERATIONAL DOOR MUST BE TEMPERED.
27. TEMPERED GLASS AS REQUIRED BY ORC FOR WINDOW DISTANCE TO FLOOR AND PROXIMITY TO DOORS, SHOWERS & TUBS.
28. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THIS PLAN, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST REVIEW PLANS AND CHECK ALL DETAILS AND DIMENSIONS AND REPORT DISCREPANCIES BEFORE ORDERING MATERIALS AND BEFORE CONSTRUCTION BEGINS.
29. PROVIDE TREATED SILLS AND PLATES AT ALL CONCRETE OR MASONRY IN DIRECT CONTACT WITH GROUND.
30. ALL STUD WALLS ARE 3 1/2" FOR 2 X 4 WALLS AND 5 1/2" FOR 2 X 6 WALLS.
31. FIRESTOP ALL SOFFITS AND DROPS.

CONSTRUCTION AND SAFETY

1. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
2. CONTRACTOR AND HIS AGENT(S) SHALL VERIFY ALL INFORMATION AND DIMENSIONS CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS.
3. THE ENDS OF EACH JOISTS, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2 IN OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 IN. ON MASONRY.
4. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOBSITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
5. SUBSTANCE ABUSE OR USE OF CONTROLLED SUBSTANCES INCLUDING ALCOHOL WILL NOT BE TOLERATED AND WILL RESULT IN IMMEDIATE DISMISSAL FROM THE JOB SITE.
6. ALL CONTRACTORS REQUIRED TO MAINTAIN SAFETY FENCES & SIGNAGE & CLEAN UP DANGEROUS CONDITIONS.



**ONE STORY BRICK ON
BASEMENT
WALL SECTION**

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